

MIZNER'S PRESERVE

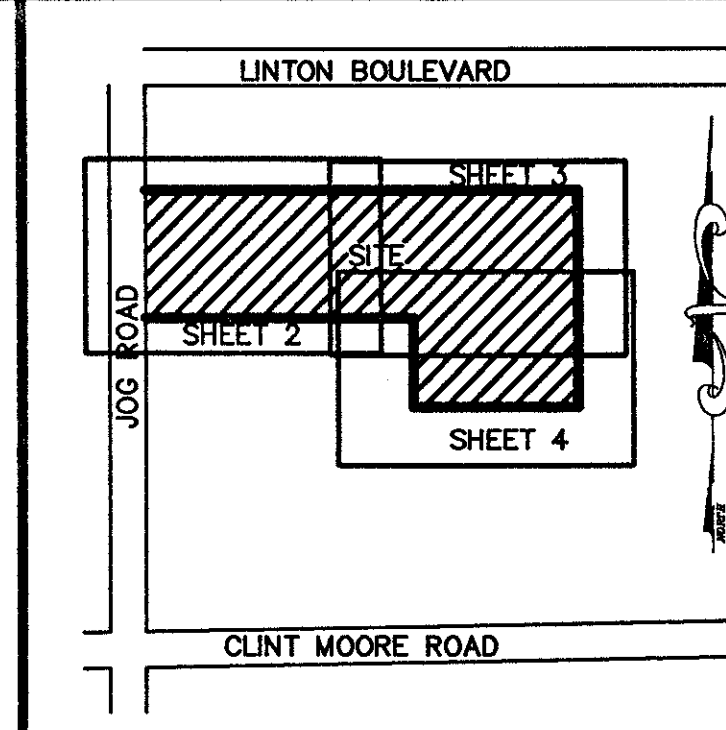
A PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTHEAST ONE QUARTER OF SECTION 27, TOWNSHIP 46 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA

NOTES
COORDINATES, BEARINGS AND DISTANCES

COORDINATES SHOWN ARE GRID
DATUM = NAD 83 1990 ADJUSTMENT
ZONE = FLORIDA EAST
LINEAR UNIT = US SURVEY FEET
COORDINATE SYSTEM 1983 STATE PLANE
TRANSVERSE MERCATOR PROJECTION
ALL DISTANCES ARE GROUND
SCALE FACTOR = 1.0000315
GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE
BEARINGS AS SHOWN HEREON ARE GRID DATUM, NAD 83 1990
ADJUSTMENT, FLORIDA EAST ZONE.

0704-001

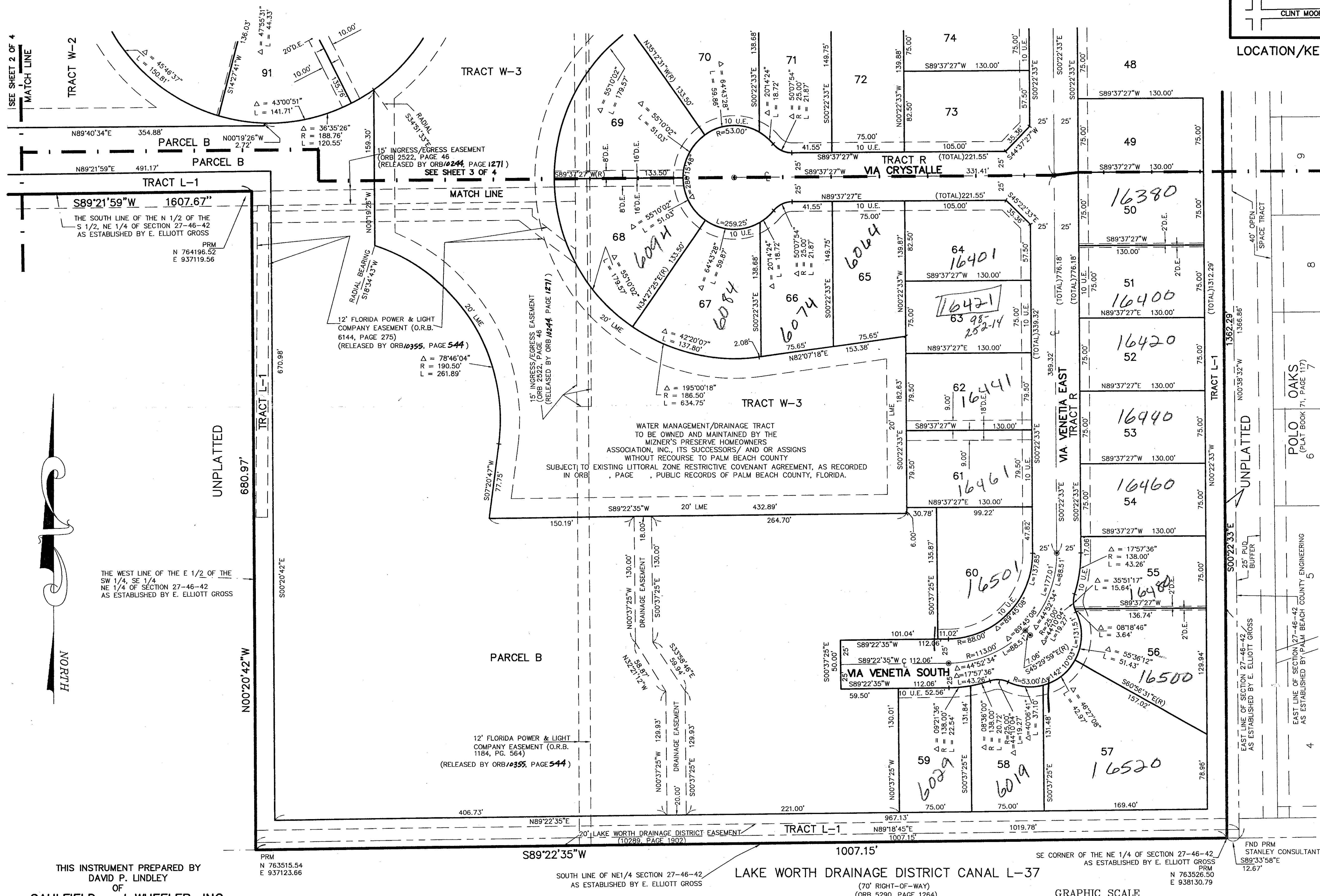


170

STATE OF FLORIDA
COUNTY OF PALM BEACH
THIS PLAT WAS FILED FOR
RECORD AT _____ M.
THIS _____ DAY OF _____
A.D. 199 _____ AND DULY RECORDED
IN PLAT BOOK _____ ON
PAGES _____ AND _____
DOROTHY H. WILKEN
CLERK CIRCUIT COURT

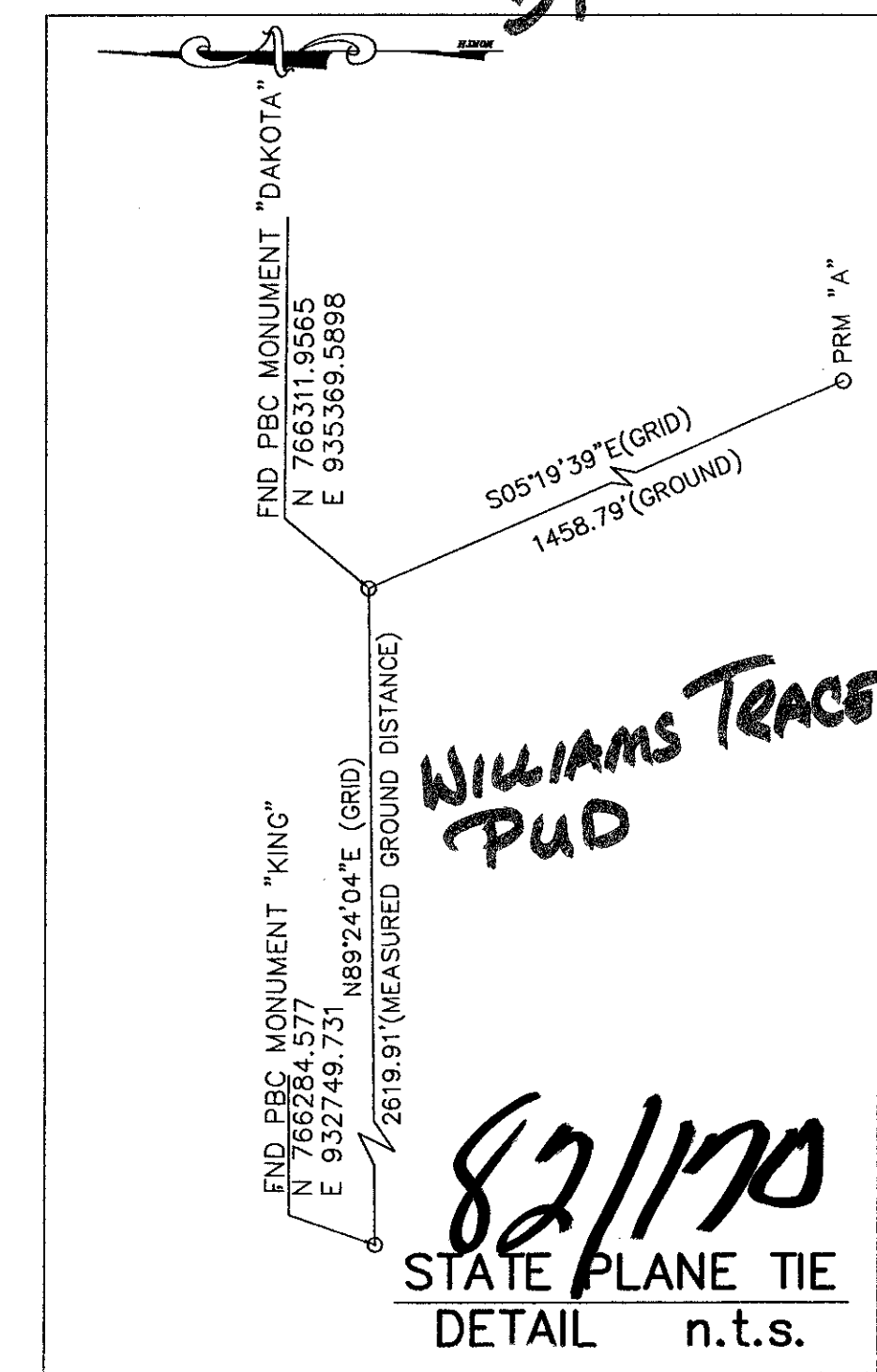
BY: _____
DEPUTY CLERK

SHEET 4 OF 4



- SURVEY NOTES:**
- In those cases where easements of different types cross or otherwise coincide, drainage easements shall have first priority, utility easements shall have second priority, access easements shall have third priority, and all other easements shall be subordinate to these with their priorities being determined by use rights granted.
 - Building setback lines shall be as required by current Palm Beach County Zoning Regulations.
 - No buildings or any kind of construction or trees or shrubs shall be placed on an easement without prior written consent of all easement beneficiaries and all applicable County approvals or permits as required for such encroachments.
 - Approval of landscaping on utility easement, other than water and sewer, shall be only with approval of all utilities occupying same.
 - Bearings conform to the Florida State Plane Coordinate System, Transverse Mercator Projection, East Zone, on the North American Datum of 1983, 1990 Adjustment based upon the West line of the Northeast one-quarter (NE 1/4) of Section 27, Township 46 South, Range 42 East, bearing S 00° 34' 55" E.
 - P.R.M. - indicates 4" x 4" x 24" Permanent Reference Monument marked No. 5005.
 - U.E. - indicates utility easement.
 - D.E. - indicates drainage easement.
 - (R) - indicates radial line.
 - Lines intersecting curves are non-radial unless shown otherwise.
 - "NOTICE" - There may be additional restrictions that are not recorded on this plat that may be found in the Public Records of Palm Beach County.
 - L.M.E. - DENOTES LAKE MAINTENANCE EASEMENT
 - CP - DENOTES PERMANENT CONTROL POINT
 - OE - DENOTES OVERHANG EASEMENT
 - n.t.s. - denotes not to scale
 - FND - denotes found
 - TYP - DENOTES TYPICAL
 - NO - DENOTES NUMBER
 - MEAS - DENOTES MEASURED
 - C - DENOTES CENTERLINE
 - CONC - DENOTES CONCRETE
 - ORB - DENOTES OFFICIAL RECORDS BOOK
 - POB - DENOTES POINT OF BEGINNING.

PET. 96-107A
5/3/3/K



SUBDIVISION * Mizner's Preserve
BOOK 82
PAGE 170
FLOOD MAP # 415
ZONING PUD
ORD # 37
SEC 96-107
PUD NAME Williams Trace

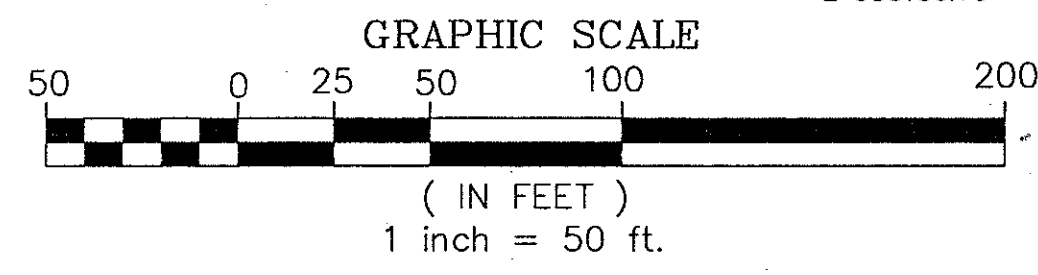
THIS INSTRUMENT PREPARED BY
DAVID P. LINDLEY
OF
CAULFIELD and WHEELER, INC.
SURVEYORS - ENGINEERS - PLANNERS
7301-A WEST PALMETTO PARK ROAD, SUITE 100A
BOCA RATON, FLORIDA 33433 - (561)392-1991
NOVEMBER - 1997

PRM
N 763515.54
E 937123.66

SOUTH LINE OF NE 1/4 SECTION 27-46-42
AS ESTABLISHED BY E. ELLIOTT GROSS

LAKE WORTH DRAINAGE DISTRICT CANAL L-37

SE CORNER OF THE NE 1/4 OF SECTION 27-46-42
AS ESTABLISHED BY E. ELLIOTT GROSS
PRM
N 763526.50
E 938130.79



0704-001